

John Mills & Associates

Property Inspection Report



111 Yellow Brick Road, Calgary, Alberta

Inspection prepared for: John Doe
Real Estate Agent: No Agent -

Date of Inspection: 1/9/2014 Time: 12:00PM
Age of Home: 14 years old. Size: 1,959 sq.ft.
Weather: Overcast 2°C

Inspector: John Mills
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The inspection and report exceeds the minimum standards, set by Alberta Home Inspection Regulations and International Association of Certified Home Inspector Standards of Practice.

The inspection was performed by a Certified Master Inspector.

The enclosed photographs are an example of the condition found & is not an exhaustive record of all deficiencies.

The inspection includes and is limited to the items reported.

The inspection unless otherwise noted is of items visible and is nondestructive or intrusive.

Inspected items will be rated as for condition and the need, if any, for attention or repair.

Rating Definition.

GOOD - Considering age, no immediate attention or repair required.

FAIR - The condition will require near future attention or repair.

POOR - The condition requires prompt attention or repair.

INFO - Relative topic information.

NONE - Does not exist in this dwelling.

Furnishings, personal or stored items can limit some aspects of the inspection.

Appliances are inspected and reported for operation only.

Appliance performance and longevity of life is not warranted.

This inspection does not comment on æsthetic concerns of design, appearance, colours, odors, finishes & material quality etc.

This report is not a code compliance report and the City or Municipality must be contacted for any outstanding code or permit violation.

This is not a land survey and no representation is made as to the property size or the location of the building on the property.

To keep your new investment in the best operational condition, it must be remembered that a home will require ongoing maintenance such as, cleaning carpets, repairing fixtures & servicing equipment on a regular bases.

Report Summary

The summary below consists of potentially significant findings. These findings can be a life safety concern, a deficiency requiring a major expenses to correct or items we would like to draw extra attention to.

The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector.

The enclosed photographs are an example of the condition found & are not an exhaustive record of all deficiencies.

Completely review all pages of the report as the summary alone does not explain all potential issues of concern.

For your safety all repairs must be done by a licensed & bonded trade or professional.

We also, recommend obtaining a copy of all contracts, receipts, warranties and permits for any work performed.

| Grounds | | |
|------------------|---|---|
| Page 9 Item: 9 | Rear/Side Deck & Patio. | <ul style="list-style-type: none"> At some time a section of the deck was added. Snow limited the deck inspection & when there is no snow the deck must be re-inspected & required repairs performed. |
| Page 10 Item: 10 | Rear/Side Steps & Handrail. | <ul style="list-style-type: none"> The step(s) hand/guard rail does not meet code requirements & are not safe. Have a qualified carpenter investigate further & advise. The horizontal elements of the deck rail create a climbing hazard & are not safe & must be removed. |
| Page 11 Item: 11 | Exterior Faucet & Condition. | <ul style="list-style-type: none"> There is no handle on the west exterior faucet. |
| Exterior Areas | | |
| Page 14 Item: 2 | Exterior Finish Condition | <ul style="list-style-type: none"> At the time of inspection there was a number of siding damage/holes. To avoid water entering the structure, repair. |
| Page 18 Item: 11 | Exterior Electrical Systems | <ul style="list-style-type: none"> The exterior light fixture by the garage door is loose & requires proper attachment. |
| Page 18 Item: 12 | Exterior Wall Vent Covers | <ul style="list-style-type: none"> Replace damaged vent cover(s). A stove top vent was added. The vent that is not used must be removed, the wall properly insulated & the siding repaired. Damage caused by water penetration at this location can not be seen. |
| Garage | | |
| Page 22 Item: 6 | Garage Exterior Door, | <ul style="list-style-type: none"> The steps at the door to the exterior needs to be inspected further when there is no snow. To stop water entering the structure the exterior siding at this door requires repair. |
| Page 23 Item: 7 | Garage Door into the House, | <ul style="list-style-type: none"> There is no dead bolt/lock on this door. |
| Page 23 Item: 9 | Interior Wall & Ceiling Type & Condition. | <ul style="list-style-type: none"> The insulation/vapour barrier is not properly installed & requires repair. |
| Roof | | |

| | | |
|------------------|-------------------------------------|---|
| Page 26 Item: 1 | Roof Condition | • Observed granular loss & shingle curl. Have a professional roof contractor investigate further & advise. |
| Page 28 Item: 6 | Gutter & Downpipe Type & Condition. | • To stop water entering the building foundations, 4 to 6 foot down pipe extensions, directing water away from the foundations must be installed & used. |
| Attic | | |
| Page 32 Item: 3 | Roof Structure | • Water penetration observed (wet insulation) through the roof air vents. This could be caused by melting snow. Increase insulation in the attic to reduce heat loss into the attic which melts the snow. Consult with a roof contractor as to possible changes (location/style) of the roof vents. |
| Lower Bathroom. | | |
| Page 51 Item: 10 | Electric wall outlet. | • The electrical wall outlet is not G.F.C.I. protected. As a life safety concern replace with a GFCI protected wall outlet. |
| Kitchen | | |
| Page 53 Item: 2 | Sink & Faucet | • The sink faucet is loose & is too small (low) to operate properly. Have a qualified plumber properly install a taller faucet. |
| Page 54 Item: 4 | Garbage Disposal | • The disposal unit operates with a "strained" noise. Have a qualified technician investigate further & advise. |
| Page 56 Item: 7 | Dishwasher | • The access panel below the door is not installed. • The door spring did not function properly. Service or replace the unit. |
| Page 57 Item: 10 | Electrical Wall Outlet. | • Current electrical codes require kitchen electrical outlets, within 1.5m of the sink to be GFCI protected & required. |
| Second Kitchen | | |
| Page 58 Item: 1 | Cabinets & Counter Tops | • It seems the kitchen was installed without a building permit. Permits for this type installation is required. |
| Page 59 Item: 5 | Stove Top & Oven Condition. | • A number of stove top burners did not function. |
| Page 60 Item: 6 | Stove Top Exhaust Type & Condition. | • The vent pipe to the exterior is plastic & not the correct size. As a life safety concern (fire hazard) have a qualified sheet metal trades person replace the vent pipe with metal pipe of the correct size. |
| Page 61 Item: 9 | Microwave | • There is no electrical outlet at the rear of the unit for proper installation. |
| Page 61 Item: 10 | Electrical Wall Outlet. | • Current electrical codes require kitchen electrical outlets near the sink to be GFCI protected & required. • The code requires that kitchen counter electrical outlets be installed with separate breakers. Have a qualified electrician investigate & advise. |
| Laundry | | |
| Page 63 Item: 4 | Dryer Vent | • As a fire safety concern the dryer vent must be metal & the shortest possible length. |
| Interior Areas | | |
| Page 65 Item: 2 | Interior Wall type & Condition. | • There is extensive wall blemishes/damage that requires repair & repainting. |
| Page 67 Item: 3 | Ceiling Type & Condition. | • There is extensive ceiling blemishes/damage that requires repair & repainting. |

| | | |
|------------------------------|-------------------------------|--|
| Page 67 Item: 5 | Interior Doors & Hardware | <ul style="list-style-type: none"> • To avoid door hardware damage to walls insure doorstops are installed on all doors. • As a life/safety concern locks on bedroom(s) door must be openable from the exterior of the room. |
| Page 70 Item: 7 | Wall - Window - Door Trim. | <ul style="list-style-type: none"> • The trim is original to the building & in some areas should be repaired & re-finished. |
| Heating Furnace | | |
| Page 76 Item: 2 | Filter Type & Condition. | <ul style="list-style-type: none"> • The furnace filter is dirty & must be cleaned or replaced. |
| Page 77 Item: 8 | Humidifier Type & Condition. | <ul style="list-style-type: none"> • The installed humidifier does not function. |
| Water Heater | | |
| Page 79 Item: 1 | Hot Water Tank Recommendation | <ul style="list-style-type: none"> • The older hot water tank is beyond its design life and will need replacement. |
| Building Electrical Service. | | |
| Page 83 Item: 3 | Panel Breakers | <ul style="list-style-type: none"> • The basement suite electrical was installed without permit & in general does not meet code & could be unsafe. Have a qualified electrician investigate further & advise. Inspection by the City is strongly advised. • There is a loose electrical wire in the panel. Have a qualified electrician investigate further & advise. |
| Page 85 Item: 7 | Other Wiring Condition. | <ul style="list-style-type: none"> • There is an extension cord connected to the fireplace interior electrical fan outlet. This electrical cord is subject to heat from the fireplace & could fail & cause an electrical shock & must not be used. If required, have a correctly installed electrical outlet in the correct location. |
| Page 86 Item: 9 | Smoke Detectors | <ul style="list-style-type: none"> • Some or all the installed smoke detectors are older than 10 years & true condition cannot be confirmed & as a life/safety concern, it is strongly recommended to replace the existing detectors with smoke/CO detectors of the same model & manufactured by the same manufacturer. Not necessarily the same manufacturer has now installed. A qualified electrician may be required to install & interconnect the detectors properly. If direct detector wiring is not installed, "Blue Tooth" communicating equipped detectors can be installed. |

Inspection Details

1. Attendance

Client present.

2. Home Type

Single family, two level detached.

3. Occupancy

Occupied - Furnished: Heavy volume of personal and household items observed, which affected some aspects of the inspection.

4. Age

Building Age: Reported to be built in 2000.

5. Building Orientation.

For inspection purposes the building is facing south.

6. Vendors Agent

No vendor agent.

7. Client Address.

Not applicable.

8. Client Email & Telephone.

Not applicable.

9. Additional Information

Snow limited the exterior inspection of the dwelling.
The vendor must confirm the the installation of the basement suite was permitted by the City & all inspection information provided.

Grounds

1. Driveway & Parking Area

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the original concrete driveway. Some expected cracks and spalling.
- Snow limited the driveway inspection.



Concrete cracks

2. Walkway Type & Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation & Recommendation:

- At the time of inspection there was no major concerns with the concrete walkway (s). Some expected cracks.
- To avoid a tripping hazard, make concrete pavers level.
- Snow limited the walkway inspection.



Concrete cracks



3. Grading Observation.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

• For information & future action when landscaping & property grading. Grading and drainage have a significant impact on the building, simply because of the direct and indirect damage that moisture can have on the foundation. It is very important, therefore, that surface runoff water be adequately diverted away from the home. The ground must be sloped away from the building (with impervious material) to avoid water draining into the building and causing damage. Slope the ground (lower) away from the building on all sides by at least 1/2 inch per foot for a distance of four to six feet. See the attached sketch for further information.

- Snow limited the grading inspection.
- **FOR INFORMATION SEE THE ATTACHED BACKFILL SKETCH**

4. Retainings Wall

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observation & Recommendation:

- No property retaining walls at this dwelling.

5. Vegetation Observations

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Observation & Recommendation:

- Prune or remove any plants or stored items that are in contact or at proximity to the building to help eliminate moisture being trapped at the building face that could cause leaks, decay and mold.
- Trim trees that are in contact or proximity to the home, as branches can abrade roofing or siding.
- Tree roots can have adverse affects on building foundations/drainage & should be removed.

6. Fence & Gate Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observations:

- Wood deterioration of the fence observed. Suggest repairs, paint or replacement.
- To avoid decay exterior wood must be maintained & painted on a regular bases.



Refinish & paint fence

7. Front Deck & Patio.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observations & Recommendation:

- The deck requires painting.
- There is no access to the underside of the deck for proper inspection or maintenance.
- There underside of the deck must be painted when the surface of the deck is painted.



No access to the underside

8. Front Steps & Handrail.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observation & Recommendation:

- The top & underside of the front deck steps & guard rail requires paint.



Refinish & paint

9. Rear/Side Deck & Patio.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:
• At some time a section of the deck was added. Snow limited the deck inspection & when the there is no snow the deck must be re - inspected & required repairs performed.



Refinish & paint



Section added to deck

**10. Rear/Side Steps & Handrail.**

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- The step(s) hand/guard rail does not meet code requirements & are not safe. Have a qualified carpenter investigate further & advise.
- The horizontal elements of the deck rail create a climbing hazard & are not safe & must be removed.



Properly construct hand/guard rail



Rail is a climbing hazard



Refinish & paint

11. Exterior Faucet & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Location:

- To avoid freezing and damage remove hoses and drain water lines in colder weather.

- There is no handle on the west exterior faucet.



No faucet lever

12. Electrical Meter Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Electrical Meter - Size - Type - Location:

- 200amp. Underground service. Meter on the west side of building.

**13. Gas Meter Location & Condition.**

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Location:

- The natural gas meter is located at the east side of the building.

**14. Other Services.**

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observations:

- Telephone service to the building.
- T.V. service to the building.



15. Garden Shed Type & Condition.

| | | | | |
|------|------|------|------|------|
| Good | Fair | Poor | Info | None |
| | | | | X |

Observation & Recommendation:
• No installed garden shed at this dwelling.

16. Irrigation System

| | | | | |
|------|------|------|------|------|
| Good | Fair | Poor | Info | None |
| | | | | X |

Observations & Recommendation:
• No installed garden irrigation system at this dwelling.

Exterior Areas

1. Exterior Finish Type

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Observations:

- The main exterior finish is vinyl siding.

2. Exterior Finish Condition

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observations:

- The exterior finish can be washed & painted.
- At the time of inspection there was a number of siding damage/holes. To avoid water entering the structure, repair.



Repair damage



Repair damage



Repair damage



Repair damage



Repair damage



Repair damage

3. Feature Panel Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Observation & Recommendation:
 • There is no installed feature panels.

4. Exterior Trim & Condition.

| Good | Fair | Poor | Info | None |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:
 • At the time of inspection there was no major concern with the metal trim.



Metal trim

5. Fascia & Soffit Type & Condition.

| Good | Fair | Poor | Info | None |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:
 • At the time of inspection there was no major concerns with the metal fascia & soffit.

6. Exterior Paint.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:
 • To avoid decay all exterior wood surfaces must be caulked and painted on a regular bases.

7. Exterior Door(s) & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- The entrance door(s) needs re - finishing.
- The entrance door frame(s) need refinishing.
- It is recommended to re - key the exterior door locks.



Refinish & paint

8. Window Condition & Recommendation.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Material:

- Double - glazed vinyl windows.

Observation & Recommendation:

- At the time of inspection there are no major concerns with the vinyl windows.
- One window ornament bars are not properly installed. This can be repaired.



Window damage



Damaged screens

9. Window Well(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observation & Recommendation:

- The window well(s) must be kept clean & monitored for proper drainage.



Keep clean

10. Patio Door Type & Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observations:

- No sliding patio type doors at this dwelling.

11. Exterior Electrical Systems

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- The exterior electrical wall outlets are GFCI type with the reset at the outlet.
- GROUND-FAULT CIRCUIT INTERRUPTER OUTLET or BREAKER:

A G.F.C.I. is specifically designed to protect people against electric shock from an electrical system. A G.F.C.I. protection device operates on the principle of monitoring the imbalance of current between the circuits' ungrounded (hot) and grounded (neutral) conductor.

WARNING: Severe electric shock or death can occur if a person touches the hot and neutral conductor at the same time, even if the circuit is protected.

This is because the current transformer within the G.F.C.I. protection device does not sense an imbalance between the departing and returning current and the switching contacts remain closed.

TESTING: G.F.C.I. protection is that you should press the test feature of the G.F.C.I. protection device to ensure that it works by turning the power off to the connected load. Do not assume that a G.F.C.I. protection device is operational unless it is properly tested! TEST ONCE A MONTH.

- The exterior light fixture by the garage door is loose & requires proper attachment.



12. Exterior Wall Vent Covers

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- Exterior vent covers should not be blocked & the dryer vent must be cleaned on a regular bases.

- Replace damaged vent cover(s).

- A stove top vent was added. The vent that is not used must be removed, the wall properly insulated & the siding repaired. Damage caused by water penetration at this location can not be seen.



Keep vents clean



Repair damage

13. Fireplace Side Vent.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observations:

- At the time of inspection there was no major concerns with the fireplace side vent.



Repair damage

Garage

1. Garage Location

Location:

- Double attached garage at the south side of the building.

2. Roof Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:

- Similar to the main building roof. See the roofing section.

3. Exterior Wall Finish Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:

- Similar to the main building. See the exterior section.

4. Car Door

| Good | Fair | Poor | Info | None |
|--------------------------|-------------------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observations:

- At the time of inspection there was no major concerns with the double overhead metal clad door.
- The door frame requires refinishing/paint.
- The door weather stripping requires repair/replacement.



Repair weather stripping



Refinish & paint



Repair/replace weather stripping

5. Car Opener

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observations:

- At the time of inspection the chain drive door opener functioned.
- At the time of inspection the emergency "Eye Beam System" functioned on the door.
- There was no remote control provided for testing.

6. Garage Exterior Door,

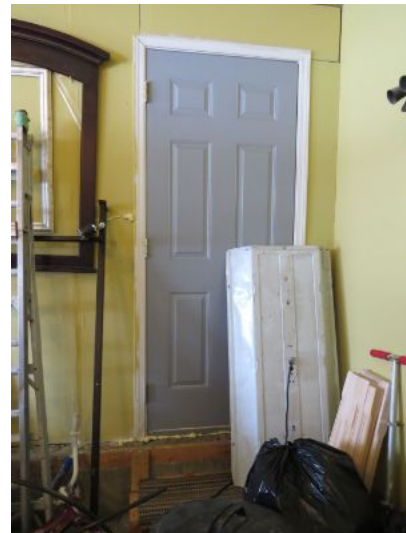
| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

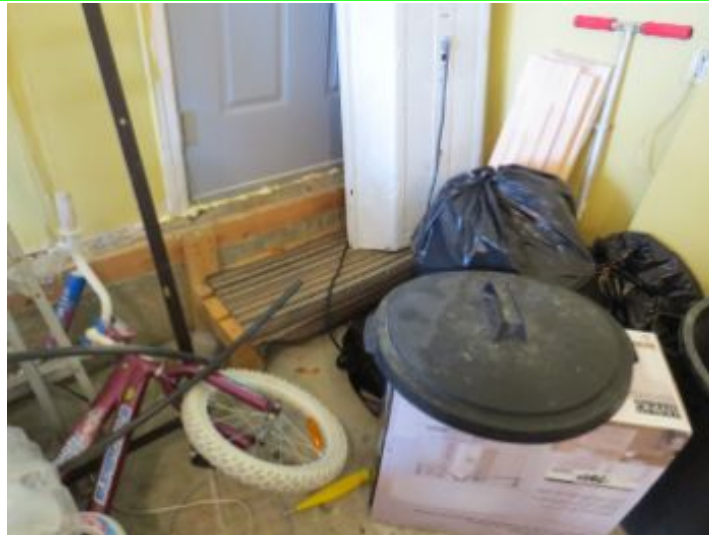
Observations & Recommendation:

- The steps at the door to the exterior needs to be inspected further when there is no snow. To stop water entering the structure the exterior siding at this door requires repair.



Properly install





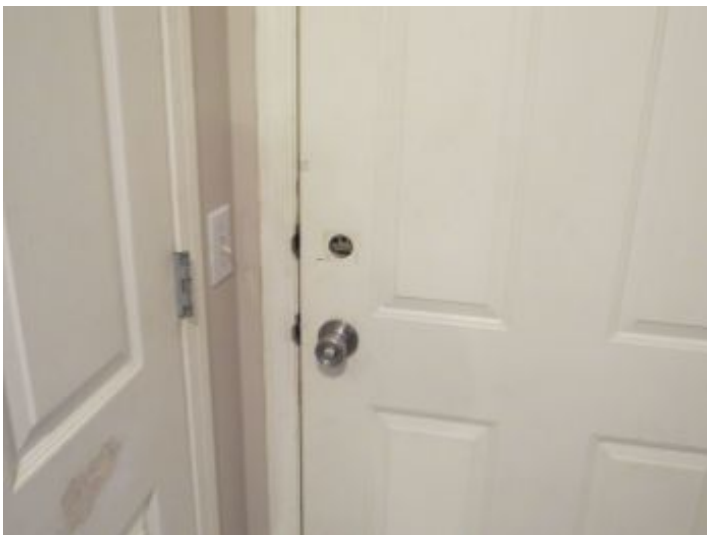
7. Garage Door into the House,

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- As a life/safety concern the door to the house from the garage must be, fire rated, weather sealed & adjusted to automatically close & latch. This will help stop fire and exhaust fumes entering the building.

- **There is no dead bolt/lock on this door.**



No dead bolt



8. Garage Window Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observation & Recommendation:

- There is no installed window in the garage.

9. Interior Wall & Ceiling Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- The interior walls & ceiling are rough finished drywall.
- Exposed framing, insulation & vapour barrier.

- **The insulation/vapour barrier is not properly installed & requires repair.**



Repair vapour barrier.



10. Floor Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the concrete floor. Some none - structural cracking/spalling.



Concrete cracks

11. Garage Attic Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Observation & Recommendation:

- No seperate attic.

12. Electrical System

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observations:

- Electrical power supplied from the main building electrical panel.

13. Heating System

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Observations:

- The garage is not heated.

Roof

1. Roof Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Material:

- Original installed asphalt shingles.

Observation & Recommendation:

- Design life for this type of roof is 20 to 25 years if regular maintenance is under taken
- **Observed granular loss & shingle curl. Have a professional roof contractor investigate further & advise.**



Roof damage



Roof damage



Roof damage

2. Roof Flashing Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Material:

- Metal flashing.

Observation & Recommendation:

- At the time of inspection there was no major concern with the roof flashing.

3. Roof Ventilation, Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- Roof top vents
- Soffit ventilation.
- At the time of inspection there was no major concerns with the roof/attic ventilation,
- See the attic section concerning ventilation.

4. Roof Top Vent Cap & Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the installed roof vents & caps.



5. Chimnry Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Observation & Recommendation:

- No roof top fireplace chimney.

6. Gutter & Downpipe Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:

- The gutters must be cleaned on a regular bases to stop water entering the building from the gutters.
- Insure that down pipe(s) into the ground are kept clean & are monitored for proper drainage.
- To stop water entering the building foundations, 4 to 6 foot down pipe extensions, directing water away from the foundations must be installed & used.



Keep clean



Extensions must be used

7. Skylight Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Observation & Recommendation:

- No installed skylight(s) at this dwelling.

Building Structure

1. Foundation Type & Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- The installed foundations are concrete walls.
- At the time of inspection there was no major observed concerns with the concrete foundations.
- No moisture staining observed at the interior of the foundation walls.
- No above normal moisture levels found in the foundation walls when tested with a 'Protimeter' moisture meter.
- The extent and condition of below grade level of foundation damp proofing/water proofing/drain tile can be confirmed.

2. Cementitious Parge Coating.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observations:

- The cementitious parge coating on the exterior of foundation walls is for cosmetic purposes only & damage/ cracks is not an indication of structural concerns.
- Repair the parge coat as required.

3. Ground Cover Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observation & Recommendation:

- There are cracks in the concrete floor cover. This is not a structural concern. Repair as required.

4. Building Structure

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- Platform wood frame structure.
- At the time of inspection there was no major concerns with the observed wood frame structure.
- At the time of inspection there was no major concerns with the support columns or beam(s).



5. Foundation Insulation Type & Condition.

| | | | | |
|------|------|------|------|------|
| Good | Fair | Poor | Info | None |
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the observed exterior wall insulation.
- To retain heat in the dwelling the exterior foundation walls & joist ends must be insulated & sealed vapour barrier installed.

Attic

1. Attic Access & Location.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- Drop down hatch.
- Located at the upper floor hallway.
- To stop insulation falling from the attic. Install a 12 - inch plywood collar on the upper side of the hatch.
- To retain heat, save energy costs and make the dwelling more comfortable, glue at least eight inches of rigid insulation onto the attic hatch.
- To retain heat, save energy costs and make the dwelling more comfortable install new weather stripping onto the attic hatch lip.



2. Insulation Type & Recommendation

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendations:

- Six to eight inches of blown insulation.
- To retain heat, save energy costs and make the dwelling more comfortable add insulation to the attic. Do not block ventilation when adding insulation.

3. Roof Structure

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- Dimensional lumber trusses, with wood sheathing.
- At the time of inspection there was no structural damage observed.
- **Water penetration observed (wet insulation) through the roof air vents. This could be caused by melting snow. Increase insulation in the attic to reduce heat loss into the attic which melts the snow. Consult with a roof contractor as to possible changes (location/style) of the roof vents.**



Moisture



Moisture



4. Attic Ducting.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- Ducting in the attic requiring to be insulated are insulated.



5. Attic Electrical

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Observation & Recommendation:

- No electrical attic wiring or lighting observed at this dwelling attic.

6. Attic Plumbing.

| Good | Fair | Poor | Info | None |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:

- At the time of inspection there was no major concern with plumbing(s) vents in the attic.



7. Attic Chimney.

| | | | | |
|------|------|------|------|------|
| Good | Fair | Poor | Info | None |
| | | | | X |

Observation & Recommendation:

- No fireplace chimney in the attic of this dwelling.

Main Bathroom

Bathrooms can consist of many features from jacuzzi tubs, showers, toilets and bidets. Because of all the plumbing involved it is an important area of the house to inspect. Moisture in the air, water leaks can cause mold & decay. To insure moist air/fumes are exhausted from bathrooms operate the ventilation (or keep the window open) for at least ten minutes after completing room use. Electronic exhaust fan timers are recommended. Moist air not properly exhausted can cause mold & decay. The inspector will use testing equipment, identify visual and surface issues. Some problems may be undetectable and within the walls or under the flooring. Water flow can be reduced when more than one bathroom or kitchen faucet is used at the same time.

1. Room Location

Location:

- Located at the upper floor level.

2. Cabinet, Counter Top & Mirror Condition.

Good Fair Poor Info None

| | | | | |
|--|---|--|--|--|
| | X | | | |
|--|---|--|--|--|

Observation & Recommendation:

- The cabinets requires some repair & cleaning.



Blemish

3. Vanity Sink & Faucet

Good Fair Poor Info None

| | | | | |
|---|--|--|---|--|
| X | | | X | |
|---|--|--|---|--|

Observation & Recommendation:

- At the time of inspection there was no concerns with the vanity sink(s).
- At the time of inspection there was no major concerns with the sink faucets.
- To improve the faucet water supply keep the faucet aerator clean.



4. Under Vanity Plumbing

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no problems with the vanity plumbing lines,
- To insure proper drainage, drain lines must be kept clean.

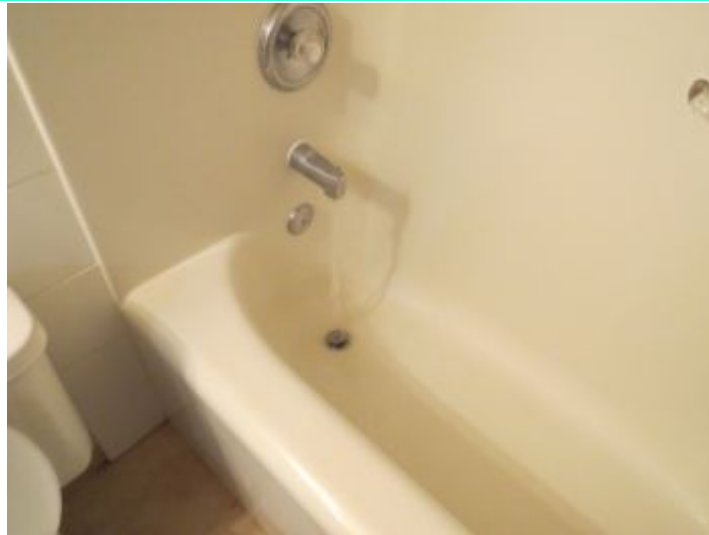


5. Bath Tub

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the bathroom tub.
- To improve the faucet water supply keep the faucet aerator clean.



6. Showers

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no concern with the tub shower function.
- To improve water supply keep the shower head clean.

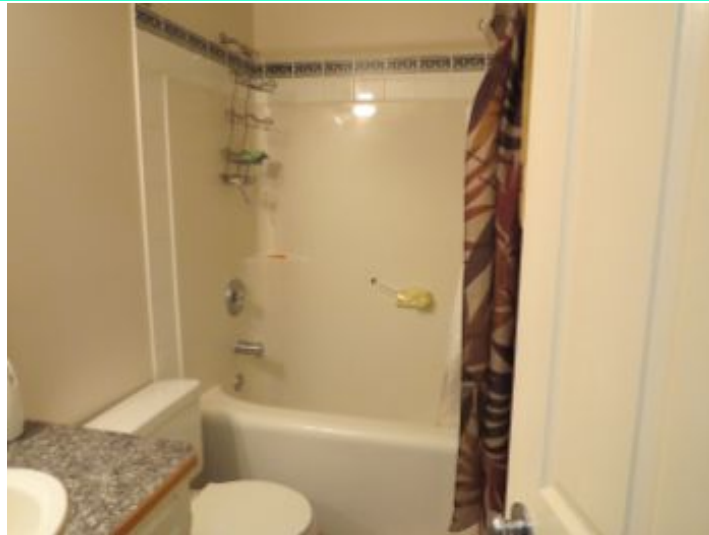


7. Tub or Shower Enclosure

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concern with the tub enclosure.

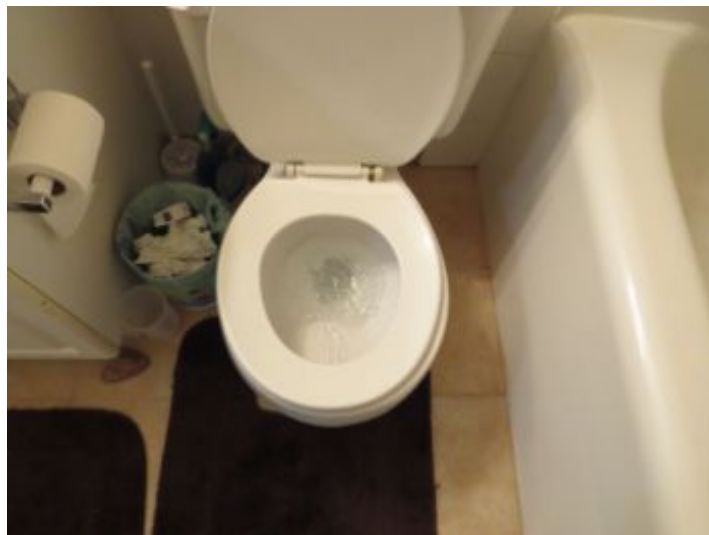


8. Toilet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the toilet.



9. Moisture Type & Location

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no elevated moisture levels found in the walls when tested with a "Protimeter" moisture meter.
- At the time of inspection there was no elevated moisture levels found in the floor when tested with a "Protimeter" moisture meter.

10. Electric wall outlet.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- The electrical wall outlet is G.F.C.I. protected with the reset at the wall outlet.

11. Exhaust Fan

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- The room exhaust fan functioned at the time of inspection.
- The exhaust fan needs cleaning.
- Ventilation fans, to function properly & control moisture in the room should operate for at least ten minutes after room use. Pre - set electron time controls are recommended.

12. Door(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observations:

- At the time of inspection there was no major concerns with the room door(s).

13. Window(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observations:

- There is no window In this room.

Ensuite Bathroom

1. Room Location

Location:

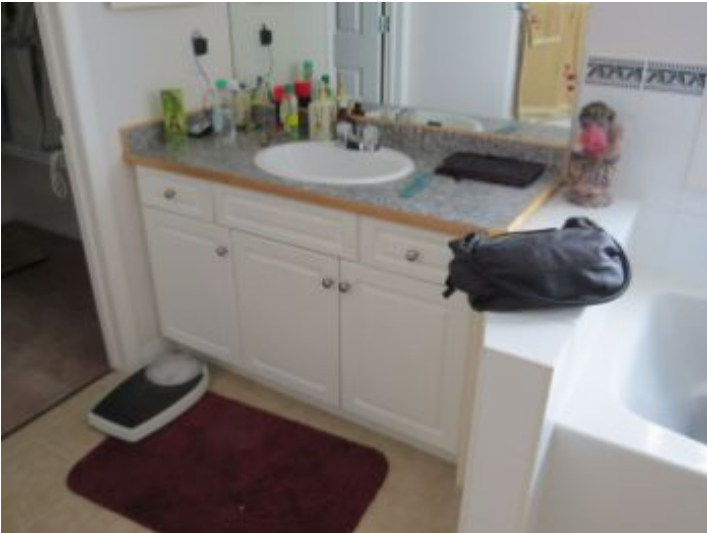
- Located at the upper floor level.

2. Cabinet, Counter Top & Mirror Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observation & Recommendation:

- The cabinets requires some repair & cleaning.



Blemish

3. Vanity Sink & Faucet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no concerns with the vanity sink(s).
- At the time of inspection there was no major concerns with the sink faucets.
- To improve the faucet water supply keep the faucet aerator clean.

4. Under Vanity Plumbing

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no problems with the vanity plumbing lines.
- To insure proper drainage, drain lines must be kept clean.



5. Bath Tub

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the bathroom tub.
- To improve the faucet water supply keep the aerator clean.



6. Showers

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection the shower functioned.
- To improve water supply keep the shower head clean.



7. Tub or Shower Enclosure

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concern with the tub enclosure.
- At the time of inspection there was no major concern with the shower enclosure.

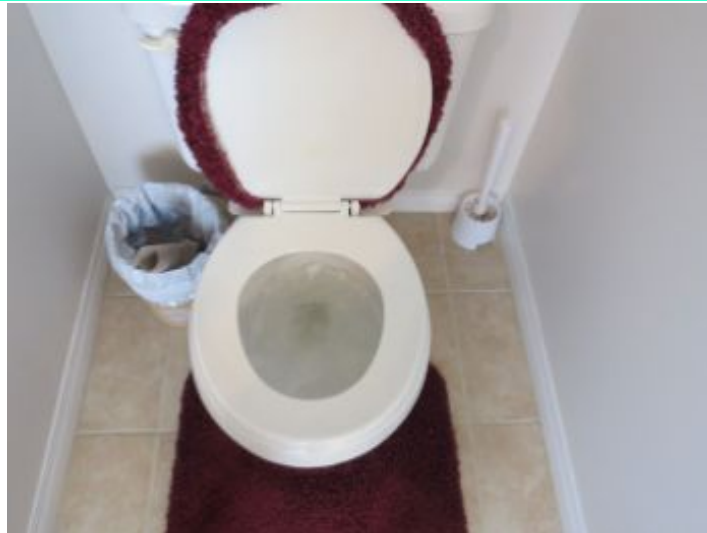


8. Toilet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the toilet.



9. Moisture Type & Location

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no elevated moisture levels found in the walls when tested with a "Protimeter" moisture meter.
- At the time of inspection there was no elevated moisture levels found in the floor when tested with a "Protimeter" moisture meter.

10. Electric wall outlet.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- The electrical wall outlet is G.F.C.I. protected with the reset at the main bathroom electrical wall outlet.

11. Exhaust Fan

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- The room exhaust fan functioned at the time of inspection.
- The exhaust fan needs cleaning.
- Ventilation fans, to function properly & control moisture in the room should operate for at least ten minutes after room use. Pre - set electron time controls are recommended.

12. Door(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observations:

- At the time of inspection there was no major concerns with the room door(s).

13. Window(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observations:

- At the time of inspection there was no major concerns with the room window(s).



Powder Room

1. Room Location

Location:

- Located at the main floor level.

2. Cabinet, Counter Top & Mirror Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observation & Recommendation:

- No cabinets in this room.

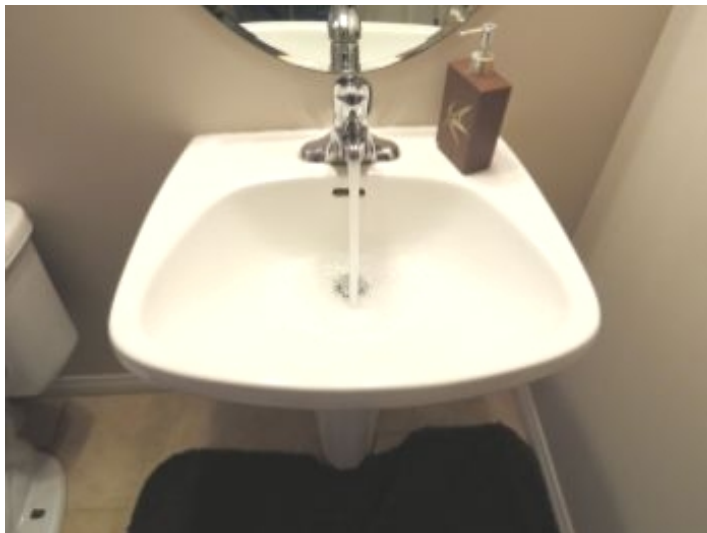


3. Vanity Sink & Faucet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the pedestal sink.
- At the time of inspection there was no major concerns with the sink faucets.
- To improve the faucet water supply keep the aerator clean.



4. Under Vanity Plumbing

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no observed major problems with the pedestal plumbing.
- To insure proper drainage, drain lines must be kept clean.



5. Moisture Location & Type

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

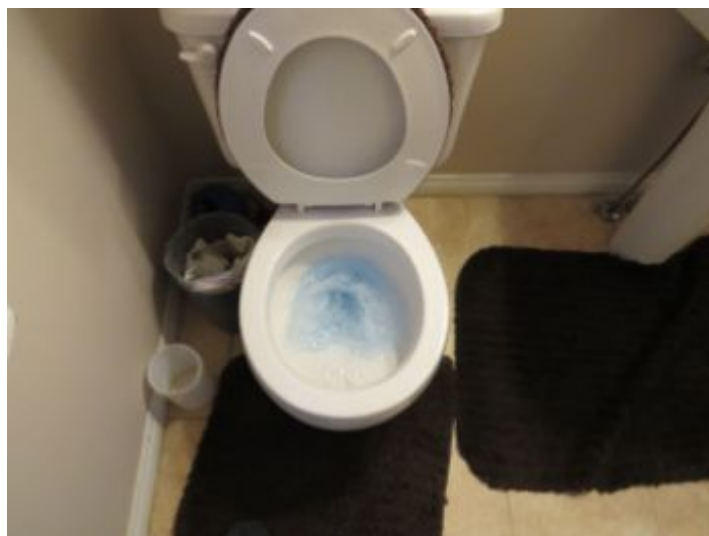
- At the time of inspection there was no elevated moisture levels found in the walls when tested with a "Protimeter" moisture meter.
- At the time of inspection there was no elevated moisture levels found in the floor when tested with a "Protimeter" moisture meter.

6. Toilet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concern with the toilet function.



7. Electric wall outlet.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- The electrical wall outlet is GFCI protected with the reset at the main bathroom outlet.

8. Exhaust Fan

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- The room exhaust fan functioned at the time of inspection.
- The exhaust fan needs cleaning.
- Ventilation fans, to function properly & control moisture in the room should operate for at least ten minutes after room use. Pre - set electron time controls are recommended.

9. Door(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observations:

- At the time of inspection there was no major concerns with the room door(s).

10. Window(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observations:

- At the time of inspection there was no major concerns with the room window(s).

Lower Bathroom.

1. Room Location

Location:

- Located at the lower floor level.

2. Cabinet, Counter Top Mirror Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observation & Recommendation:

- The cabinets requires some repair & cleaning.



Repair damage

3. Vanity Sink & Faucet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no concerns with the vanity sink(s).
- At the time of inspection there was no major concerns with the sink faucets.
- To improve the faucet water supply keep the aerator clean.



Repair

4. Under Vanity Plumbing

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no problems with the vanity plumbing.
- To insure proper drainage, drain lines must be kept clean.



5. Bath Tub

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the bathroom tub.
- To improve the faucet water supply keep the faucet aerator clean.



6. Showers

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection the shower functioned.
- To improve water supply keep the shower head clean.



7. Tub or Shower Enclosure

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- The enclosure caulking needs to be replaced.
- To stop moisture penetration in the walls tiled enclosures must be kept dry, caulking & sealer maintained.



8. Toilet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the toilet function.



9. Moisture Type & Location

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no elevated moisture levels found in the walls when tested with a "Protimeter" moisture meter.
- At the time of inspection there was no elevated moisture levels found in the floor when tested with a "Protimeter" moisture meter.

10. Electric wall outlet.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | | |

Observation & Recommendation:

- The electrical wall outlet is not G.F.C.I. protected. As a life safety concern replace with a GFCI protected wall outlet.



Not G.F.C.I. protected

11. Exhaust Fan

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- The room exhaust fan functioned at the time of inspection.
- The exhaust fan needs cleaning.
- Ventilation fans, to function properly & control moisture in the room should operate for at least ten minutes after room use. Pre - set electron time controls are recommended.

12. Door(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observations:

- At the time of inspection there were no major concerns with the room door(s).

13. Window(s)

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observations:

- There is no window in this room.

Kitchen

The kitchen is used for food preparation and often eating. Kitchens typically include a stove, dishwasher, sink and other appliances.

To insure moist air/fumes are exhausted from kitchen operate the exhaust (or keep the window open) fan for at least ten minutes after completing room use. Electronic exhaust fan timers are recommend

The kitchen appliances will be inspected, operated and rated for condition. No warranty is made as the operational efficiency or longevity of any appliance.

1. Cabinets & Counter Tops

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concern with the cabinets.



2. Sink & Faucet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- At the time of inspection there was no concern with the kitchen sink.
- To improve the faucet water supply keep the faucet aerator clean.
- The sink faucet is loose & is too small (low) to operate properly. Have a qualified plumber properly install a taller faucet.





Loose

3. Under Sink Plumbing

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & recommendation:

- At the time of inspection there was no major concerns with the under sink plumbing lines.
- To insure proper drainage, drain lines must be kept clean.

4. Garbage Disposal

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- The operating efficiency or life expectancy of the appliance cannot warranted.
- The disposal unit operates with a "strained" noise. Have a qualified technician investigate further & advise.



Does not function

5. Stove Top & Oven Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection the electrical stove top & oven functioned.
- Ceramic cook top. Clean ceramic tops with cream cleaner not window type cleaner. Do not use metal cleaning pads on the surface, will scratch, use synthetic cleaning pads only. Stubborn stains can be removed using a razor blade scraper. Ceramic tops can break, do not bring heavy weights down onto the top.
- The operating efficiency or life expectancy of the appliance cannot warranted.



6. Stove Top Exhaust Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- Exterior exhausting stove top exhaust fan functioned.
- The operating efficiency or life expectancy of the appliance cannot warranted.



7. Dishwasher

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- At the time of inspection the dishwasher functioned.
- The operating efficiency or life expectancy of the appliance cannot warranted.
- The access panel below the door is not installed.
- The door spring did not function properly. Service or replace the unit.



Door spring does not function



No bottom skirt

8. Refrigerator Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection the refrigerator(s) functioned.
- The operating efficiency or life expectancy of the appliance cannot warranted.



9. Microwave

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection the microwave functioned. Not all settings were tested.
- The operating efficiency or life expectancy of the appliance cannot warranted.

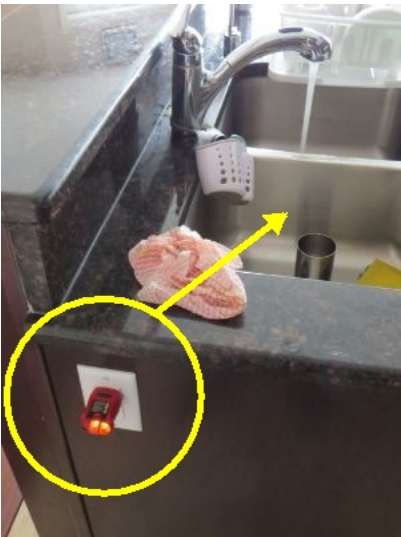


10. Electrical Wall Outlet.

| | | | | |
|------|------|------|------|------|
| Good | Fair | Poor | Info | None |
| | | X | X | |

Observations & Recommendation:

- Current electrical codes require kitchen electrical outlets, within 1.5m of the sink to be GFCI protected & required.



Must be G.F.C.I. protected

Second Kitchen

1. Cabinets & Counter Tops

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- At the time of inspection repair of the cabinets is required.
- It seems the kitchen was installed without a building permit. Permits for this type installation is required.



Not completed



Damage

2. Sink & Faucet

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- At the time of inspection there was no concern with the kitchen sink.
- At the time of inspection there was no concerns with the sink faucets.
- To improve the faucet water supply keep the faucet aerator clean.



3. Under Sink Plumbing

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & recommendation:

- At the time of inspection there was no major concerns with the under sink plumbing.
- To insure proper drainage, drain lines must be kept clean.



4. Garbage Disposal

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observation & Recommendation:

- No installed disposal unit.

5. Stove Top & Oven Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- The operating efficiency or life expectancy of the appliances cannot warranted.
- A number of stove top burners did not function.



Not all burners function

6. Stove Top Exhaust Type & Condition.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:

- Exterior exhausting stove top exhaust fan.
- The operating efficiency or life expectancy of the appliances cannot warranted.
- The vent pipe to the exterior is plastic & not the correct size. As a life safety concern (fire hazard) have a qualified sheet metal trades person replace the vent pipe with metal pipe of the correct size.



Vent must be metal & correct size

7. Dishwasher

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Observation & Recommendation:

- No installed dishwasher at this location.

8. Refrigerator Condition

| Good | Fair | Poor | Info | None |
|--------------------------|-------------------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Observation & Recommendation:

- At the time of inspection the refrigerator functioned.
- The operating efficiency or life expectancy of the appliances cannot warranted.
- The refrigerator is an older unit. Budget to replace.



9. Microwave

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | | |

Observation & Recommendation:

- There is no electrical outlet at the rear of the unit for proper installation.



No outlet for unit

10. Electrical Wall Outlet.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | | |

Observations:

- Current electrical codes require kitchen electrical outlets near the sink to be GFCI protected & required.
- The code requires that kitchen counter electrical outlets be installed with separate breakers. Have a qualified electrician investigate & advise.



Laundry

1. Cabinet & Counter Tops.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observation & Recommendation:

- No installed cabinets or counter tops in this room.

2. Washer & Dryer Conditio

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observations:

- At the time of inspection the equipment operated.
- The operating efficiency or life expectancy of the appliances cannot warranted.



3. Laundry Sink & Fuacets

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observation & Recommendation:

- There is no laundry sink installed in this area.

4. Dryer Vent

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- To avoid fires & poor dryer performance, keep the dryer vent clean of lint.
- As a fire safety concern the dryer vent must be metal & the shortest possible length.

5. G.F.C.I. & Electrical.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no concerns with the installed washer & dryer electrical wall outlets.



6. Washing Machine Faucets & Drain

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no observed concerns with the room plumbing lines.



Interior Areas

The Interior section covers areas of the house that are not considered part of Bathrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of Bedrooms, Living Room, Hallways, Foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen or detected with testing equipment. Furnishings and personal items in the structure may prevent the inspector from viewing all areas on the interior.

When the purchaser takes possession of the property & inspects the property when empty & finds items that concern the purchaser the purchaser must contact the inspector for further inspection & advise.

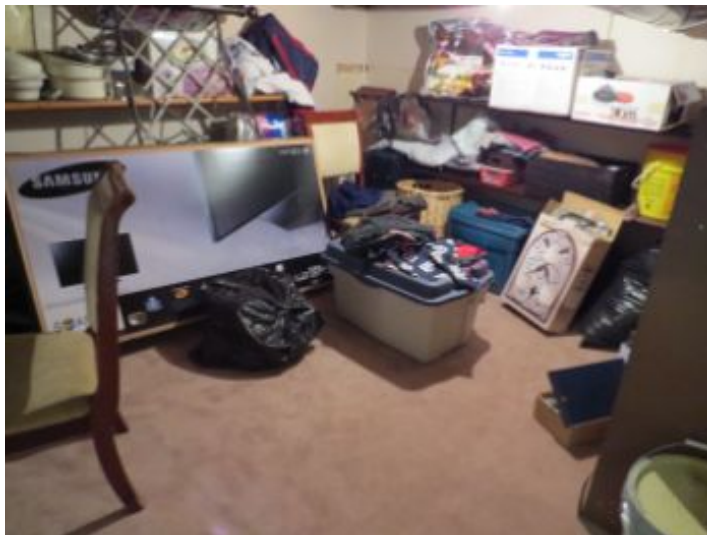
The inspector does not test for mold or other hazardous materials. A qualified expert should be consulted for specific testing requiring specialized equipment.

1. Interior Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Observations:

- Stored personal items & furnishings limited a complete wall and floor inspection.
- Expect further wall & floor defects when the building is empty of all furnishings.



2. Interior Wall type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- Stored personal items & furnishings limited a complete wall and floor inspection.
- Expect further wall damage when the building is empty of furnishings.
- **There is extensive wall blemishes/damage that requires repair & repainting.**



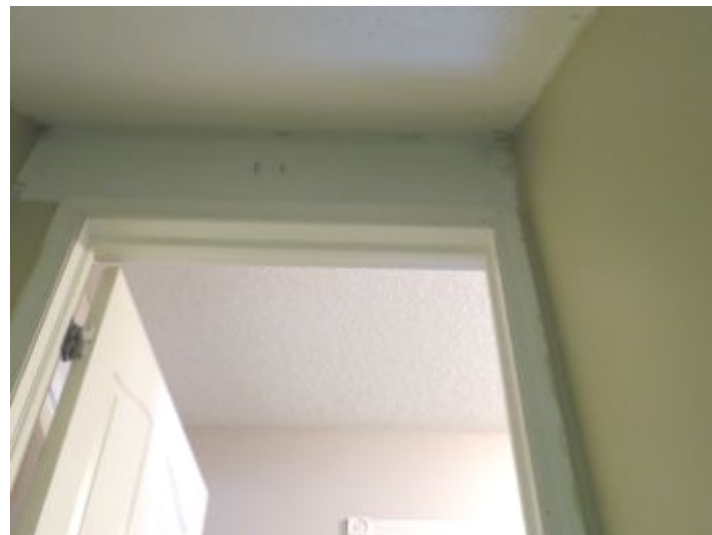
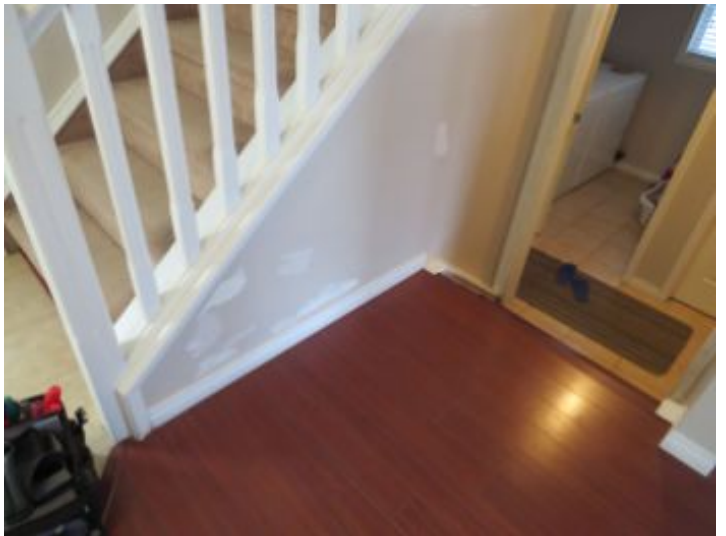
Wall blemish



Wall blemish



Wall blemish



No paint

3. Ceiling Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | | |

Observation & Recommendation:

- There is extensive ceiling blemishes/damage that requires repair & repainting.



Ceiling blemish



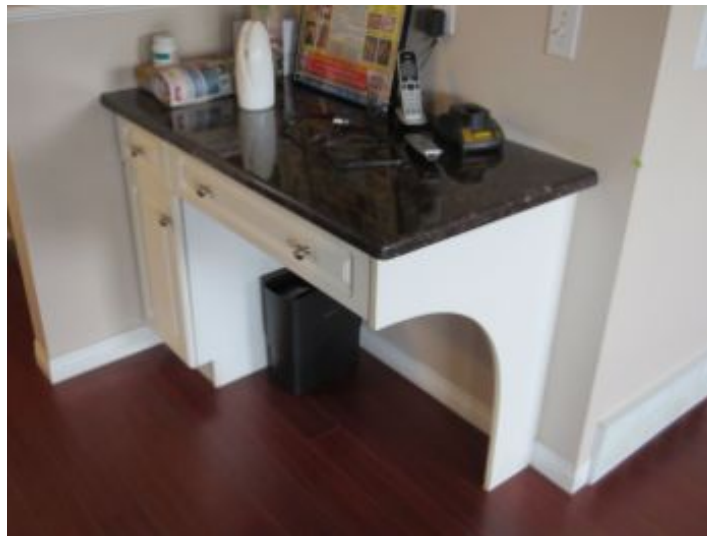
Interior blemish

4. Attached Cabinets

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the permanently installed cabinets.



5. Interior Doors & Hardware

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

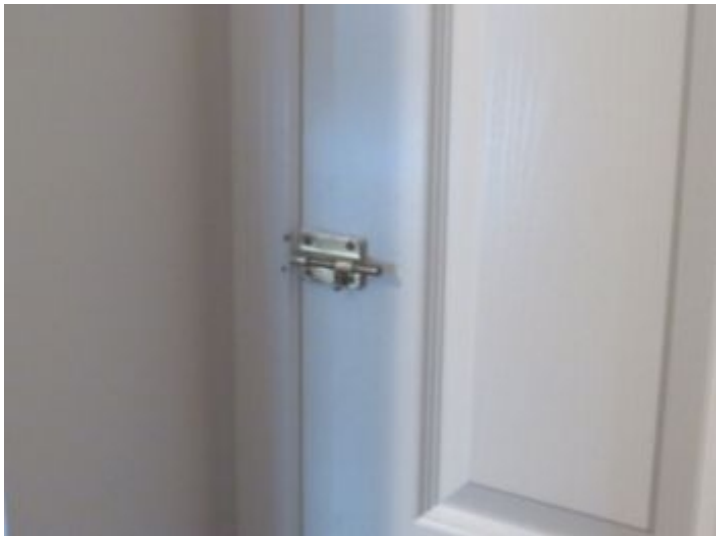
- Some room doors require painting.
- To avoid door hardware damage to walls insure doorstops are installed on all doors.
- As a life/safety concern locks on bedroom(s) door must be openable from the exterior of the room.



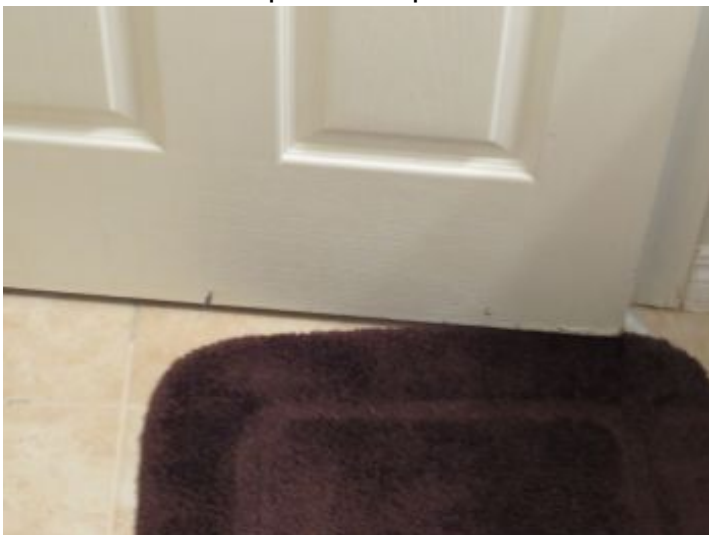
No door installed



Repair as required



Door locks must be openable from outside.



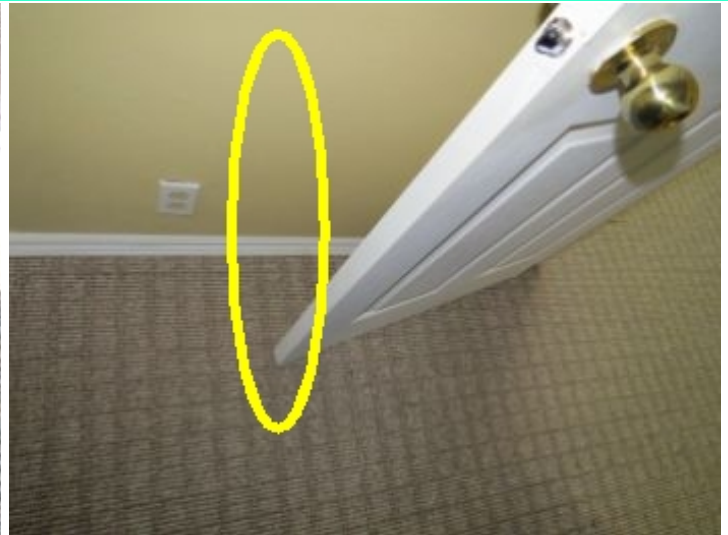
Blemish



Wall blemish



Install door stop

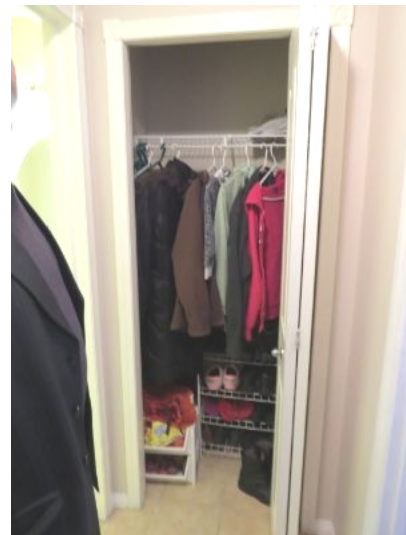


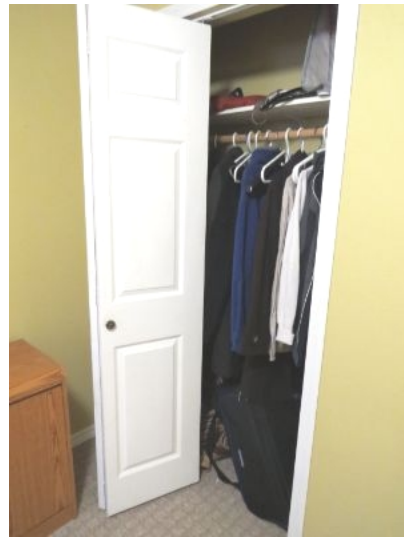
No door stop

6. Closet Doors & Shelves

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation: At the time of inspection there was no major concern with the installed closet doors.
At the time of inspection there was no major concerns with the closet shelving.





No closet door

7. Wall - Window - Door Trim.

| Good | Fair | Poor | Info | None |
|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

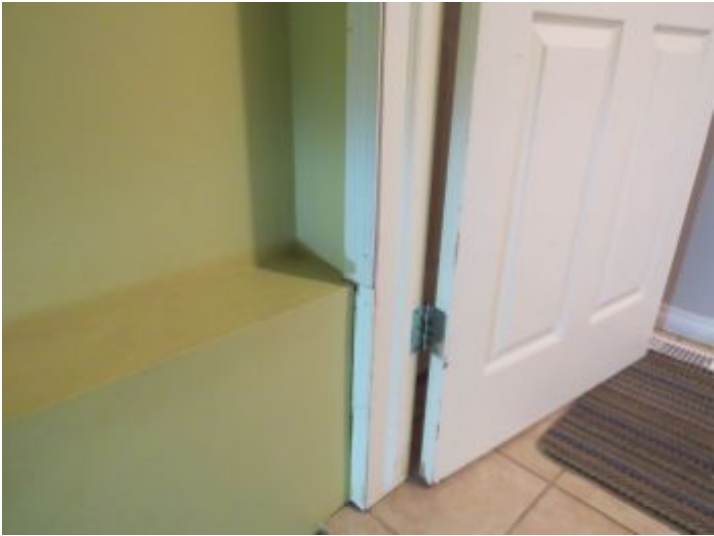
Observation & Recommendation:

- The trim is original to the building & in some areas should be repaired & re-finished.





Poor installation



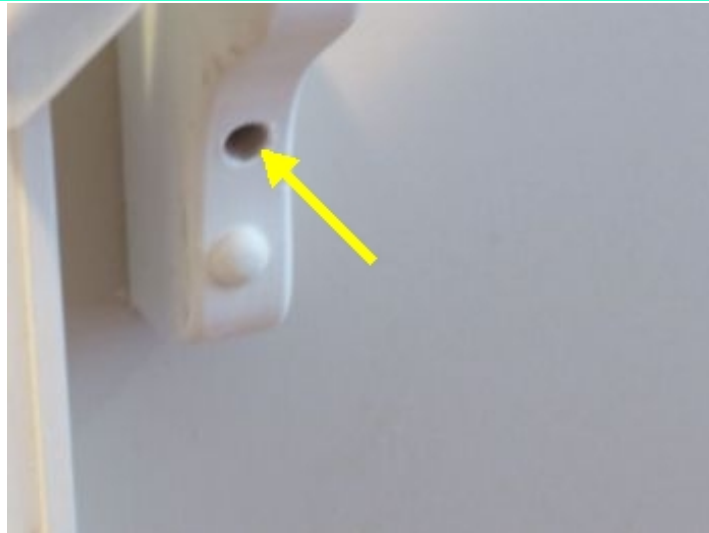
Not complete

8. Interior Stairs & Handrail

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the interior stairs.
- At the time of inspection there was no major concerns with the stair handrail.



Button missing

9. Interior window condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observations:

- At the time of inspection there was no major concerns with the interior of the windows.
- The windows need cleaning.



Minor window damage

10. Bedroom Egress

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Observation & Recommendation:

- As a life safety concern, window egress should never be blocked. Window opening procedures must be understood by all occupants. If required by the building occupants there must be ladders etc. at all windows, to assist in egress from the building.

11. Window Screens & Coverings.**Condition:**

- The window coverings were not inspected.
- A number of window screens were damaged.

12. Soft Flooring.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- The carpet is dirty & it is recommended to have the flooring professionally cleaned at move-in.
- There are some carpet "ripples". Have a professional carpet installer re - stretch.
- Stored personal items & furnishings limited a complete wall and floor inspection.



Carpet ripples

13. Hard Flooring.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- Stored personal items & furnishings limited a complete wall and floor inspection.
- There is some hard flooring damage requiring repair.

Fire Place

1. Fireplace Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- Natural gas metal insert direct vent fireplace. On/off by an electrical wall switch. Pilot & flame controls under the lower access panel.
- The fireplace is electrically wired for the future installation of a circulation fan.



Heating Furnace

The heating and ventilation system in the building is used to provide healthy, warm conditions.

The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation, keeping operating & maintenance costs at a minimum.

The inspector will test the heating system using the thermostat, other available controls & Carbon Monoxide testing equipment.

1. Furnace Condition.

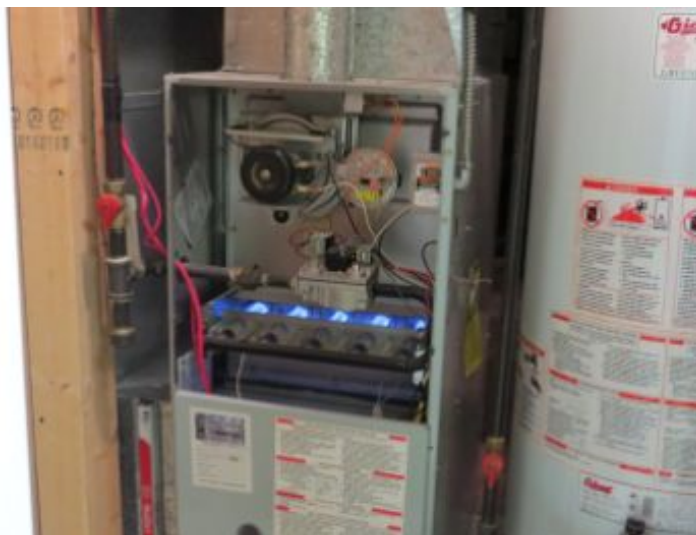
| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Manufacturer:

- Original installed Carrier forced air furnace.

Observation & Recommendation:

- At the time of inspection the furnace functioned.
- For optimum operation have a qualified technician service furnaces on a annual bases.
- No elevated Carbon Monoxide was found when the system was operated and the system tested with an "Extech" carbon monoxide meter.



2. Filter Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- "Slide in Out" type filter located at the lower bottom side of the furnace.
- For optimum furnace operation filters must be changed on a monthly bases or as recommended by the furnace and filter manufacturer. Clean filters extend the furnace life and improve operating efficiency.
- The "arrow" on all filters must point towards the furnace when installed (filter) properly.
- **The furnace filter is dirty & must be cleaned or replaced.**



Filter is dirty

3. Thermostat Recommendation.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Thermostat Type:

- Analog installed thermostat.

Observation & Recommendation:

- To save energy and money, it is strongly recommended to install and use a programmable digital thermostat.



4. Heat Registers.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- The return air supply system appears to be functional.
- No missing heat registers observed.

5. Heat Ducting & "B" Vent

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- It is recommended to clean heating ducts at move-in, after major renovations.
- If the furnace filters are kept clean, every five years.
- At the time of inspection there was no major concerns with the visible areas of the "B-Vent".



6. Combustion Air

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concern with the insulated combustion air intake.

7. Make-up Air

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concern with the insulated make - up air intake.

8. Humidifier Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- With exposed wood flooring it is recommended that building humidification be installed.
- If a humidifier is required a "flow through" design is recommended.
- For proper operation the humidifier must be cleaned/serviced on a regular bases as recommended by the manufacturer. We recommended at least each year.
- The installed humidifier does not function.



Does not function

9. Furnace Safety

Observed & Recommendation:

- Keep the areas around the furnace clear of stored materials, equipment and furnishings that may effect the operation of the equipment and promote fires.

Water Heater

1. Hot Water Tank Recommendation

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Manufacturer & Age:

- Giant natural gas 33gallon tank. Original installation.

Observation & Recommendation:

- At the time of inspection the hot water tank functioned.
- Hot water tanks have a design life of eight to twelve years.
- Over time sediment accumulates in a tank and reduces efficiency. Flushing twice a year is recommended.
- To save energy and fuel costs reduce the heat to the lowest operational temperature.
- When away from the dwelling for longer than two days reduce the heat level to "vacation" level.
- When replacing tanks consider tankless units or high efficiency tank. They both save energy costs.
- **The older hot water tank is beyond its design life and will need replacement.**



2. Hot Water Tank Venting

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no concern with the hot water tank venting.

3. Water Pipe Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- Copper to P.E.X connection. No evident leaks.

4. TPRV Safety Valve

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- The "Temperature Pressure Reduction Valve" functioned at the time of inspection & the drain extends to the floor.

5. Hot Water Tank Safety

Safety:

- Keep the areas around the hot water tank clear of stored materials, equipment and furnishings that may affect the operation of the tank and promote fires.

Building Plumbing Service.

1. Water Meter Location & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- The water meter & main water shut - off is located near the hot water tank.
- Municipal, metered water supply.



Main water shut off

2. Basement Floor Drainage.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | X | |

Observation & Recommendation:

- At the time of inspection there was no major concerns with the basement floor drain.
- The floor drain should be cleaned on a regular bases.
- To stop sewer gases entering the structure, keep water in the drain.



3. Waste Drainage Pipe Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection there was no major concern with the A.S.B. waste line & clean out.

4. Potable Water Piping Type & Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- The installed water piping is P.E.X. (Cross-linked Polyethylene). No located leaks.



Exterior faucet shut off



5. Drainage Sump Type & Condition

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observations:

- No drainage sump located at this dwelling.

6. Miscellaneous Plumbing Equipment.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observation & Recommendation:

- The kitchen water filter functioned. Operate & change filters as required by the manufacturer.



Filtered water



Change filters

Building Electrical Service.

1. Main Electrical Panel

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Observation & Recommendation:

- Located at the east side of the dwelling.



2. Sub-Electrical Panel

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | | X |

Observation & Recommendation:

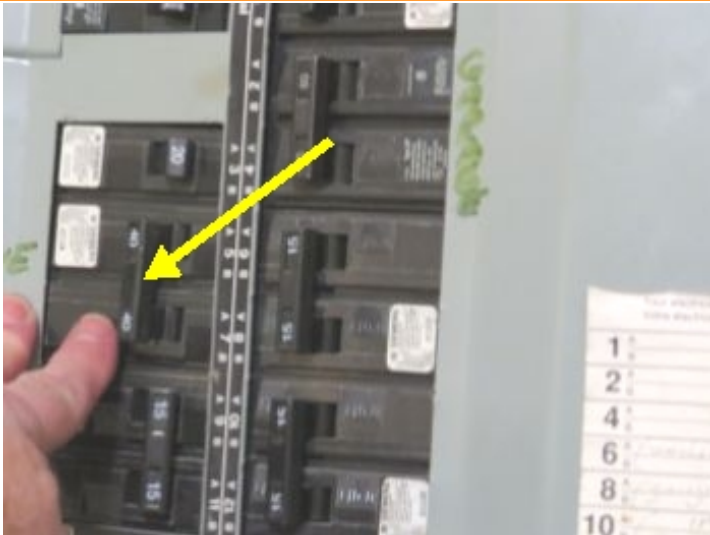
- No electrical sub-panel located in the dwelling.

3. Panel Breakers

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observations:

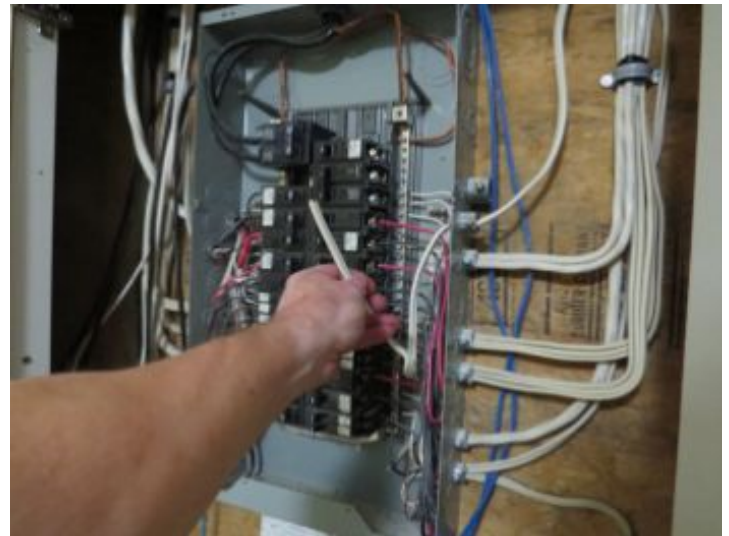
- 100amp. main breaker.
- There are spaces available for added circuit breakers.
- Not all breakers are properly designated.
- The basement stove electrical breaker was in the off position.
- No double tapped breakers.
- The basement suite electrical was installed without permit & in general does not meet code & could be unsafe. Have a qualified electrician investigate further & advise. Inspection by the City is strongly advised.
- There is a loose electrical wire in the panel. Have a qualified electrician investigate further & advise.



Turned off



Breakers not connected



Loose wire

4. Ground-Fault Circuit Interrupter Outlet: Concerns & Recommendation

GFCI Breakers: There are no GFCI breakers installed.

- **GROUND-FAULT CIRCUIT INTERRUPTER OUTLET or BREAKER:**

A G.F.C.I. is specifically designed to protect people against electric shock from an electrical system. A G.F.C.I. protection device operates on the principle of monitoring the imbalance of current between the circuits' ungrounded (hot) and grounded (neutral) conductor.

WARNING: Severe electric shock or death can occur if a person touches the hot and neutral conductor at the same time, even if the circuit is protected.

This is because the current transformer within the G.F.C.I. protection device does not sense an imbalance between the departing and returning current and the switching contacts remain closed.

TESTING: G.F.C.I. protection is that you should press the test feature of the G.F.C.I. protection device to ensure that it works by turning the power off to the connected load. Do not assume that a G.F.C.I. protection device is operational unless it is properly tested! **TEST ONCE A MONTH.**

5. Arc-Fault Circuit Interrupter Breaker: Concerns & Recommendation

AFCI Breakers: There are no AFCI breakers installed. • ARC-FAULT CIRCUIT INTERRUPTER:

As of September 1, 2002. A.F.C.I. breakers became mandatory to be installed on all bedroom circuits.

A.F.C.I. breakers are the latest advance in life safety and fire protection.

If an A.F.C.I. senses an arc or sparking condition it trips the breaker off.

Conventional circuit breakers only respond to overloads and short circuits, so they do not protect against arcing conditions that produce conditions that produce erratic current flow. An A.F.C.I. is selective so that normal arcs do not cause a trip.

TESTING: A.F.C.I. breaker protection is that you should press the test feature of the A.F.C.I. breaker device to ensure that it works by turning the power off to the connected load. Do not assume that an A.F.C.I. protection device is operational unless it is properly tested! TEST ONCE A MONTH.

IF AN A.F.C.I. BREAKER TRIPS, HAVE A QUALIFIED ELECTRICIAN IMMEDIATELY INVESTIGATE.

6. Branch Wiring Type

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | X | |

Observation & Recommendation:

- The main conductor wires are multistrand aluminum & copper.
- Th branch circuit wiring is copper.

7. Other Wiring Condition.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observations:

- Telephone & T.V. wiring is installed into the building. None of this wiring was inspected/tested.

• There is an extension cord connected to the fireplace interior electrical fan outlet. There electrical cord is subject to heat from the fireplace & could fail & cause an electrical shock & must not be used. If required, have a correctly installed electrical outlet in the correct location.



Dangerous to use extension cord at this location.

8. Outlet - Switch - Junction Box Concerns.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Observation & Recommendation:

- As a code/safety concern insure all cover plates are installed onto switches, outlets and junction boxes.

9. Smoke Detectors

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | X | X | |

Observation & Recommendation:

- Smoke detectors have a design life of 5 to 10 years depending on the manufacturer & model type.
 - Canadian Fire Marshals recommend smoke detectors on each level, in each bedroom and near the furnace.
 - Dual smoke/C.O. detectors are recommended. Smoke detectors must be installed at the highest possible level.
 - As a life safety concern interconnected (direct wired together or "Blue Toothed") smoke/C.O. detectors must be installed.
 - Some or all the installed smoke detectors are older than 10 years & true condition cannot be confirmed & as a life/safety concern, it is strongly recommended to replace the existing detectors with smoke/CO detectors of the same model & manufactured by the same manufacturer. Not necessarily the same manufacturer has now installed. A qualified electrician may be required to install & interconnect the detectors properly.
- If direct detector wiring is not installed, "Blue Tooth" communicating equipped detectors can be installed.

10. C.O. Detectors

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | | | X | |

Observation & Recommendation:

- C.O. detectors have a design life of 5 to 10 years depending on the manufacturer & model type.
- Canadian Fire Marshals recommend C.O. detectors on each level, in each bedroom and near the furnace.
- Dual smoke/C.O. detectors installed.

11. Lighting Fixture Concerns.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| | X | | | |

Observation & Recommendation:

- At the time of inspection there was a number of missing/burned light bulbs.



12. Ceiling Fan(s) Concerns.

| Good | Fair | Poor | Info | None |
|------|------|------|------|------|
| X | | | | |

Observation & Recommendation:

- At the time of inspection the ceiling fan(s) functioned.



13. Door Bell Concerns

- Observation & Recommendation:
- The front & rear door bells functioned.

14. Miscellaneous Electrical System(s)

| | | | | |
|------|------|------|------|------|
| Good | Fair | Poor | Info | None |
| | | | | X |

- Observations:
- No identified miscellaneous electrical systems at this dwelling.